

# Cherwell District Council

## Executive

7 July 2014

### South West Bicester Sports Village Update

#### Report of Head of Community Services

This report is public

#### Purpose of report

To provide a progress report on the Bicester Sports Village project.

#### 1.0 Recommendations

The meeting is recommended:

- 1.1 To note the progress on the construction of Phase 1 (grass pitches, cycle track and landscaping, the initial design work for Phases 2 (Pavilion and Car Park) and Phase 3 (Athletics Facility, 3G Synthetic Pitch, Tennis Courts and Floodlighting).
- 1.2 To commit to the next stage of the project undertake a value engineering exercise and the development of a planning application for Phase 2 and 3A.

#### 2.0 Introduction

- 2.1 At the Executive meeting in January 2014, the Executive considered an update report on the South West Bicester Sports Village project and this report will inform Members of how the project has developed since that meeting.

#### 3.0 Report Details

##### Progress on Phase 1 Grass Pitch Construction

- 3.1 The drainage on the playing pitch platforms has performed extremely well over the very wet winter and the seeded areas are becoming established. They will now be maintained until fully established in September 2015.
- 3.2 The curbing for the cycle track is currently being completed and work on the top tarmacadam layer will follow.
- 3.3 Landscaping works outside of the cycle track will be progressed in August and September with tree and hedgerow planting in October/November.

### **Design work for Phases 2 and 3 and initial costing for Phase 2**

- 3.4 The contract to complete the design of Phases 2 and 3 of the sports village, including securing planning consent, was awarded to Morgan Sindall. A second contract to construct Phase 2 could be awarded to Morgan Sindall at some later stage if the Council wish to. The design work was slow to progress in the early stages because of communication issues with the contractor and their architects however these issues have now been resolved and the design work is being progressed.
- 3.5 The Project Board met on the 13 May 2014 and considered a number of options for the facility layout of the Sports Village. It was agreed that the preferred option was locating the floodlit synthetic grass pitch on the grass platform nearest the pavilion because it had the least impact on the other grass pitches, retained the area east of the spine road as a potential site for a athletics facility and kept the regular use of the synthetic pitch conveniently located near the pavilion. However it was noted that the Kingsmere Design code stated that *'floodlit facilities would be located on the area east of the spine road and that there are no proposals for floodlights west of the pavilion building'* therefore a case needs to be made to the Planning Committee demonstrating the rationale behind this arrangement being mindful of the need for floodlighting and the fact that not having floodlighting in the locations required could undermine the future sustainability of the site.
- 3.6 The Project Board also considered the implication of locating sports facilities east of the spine road, south of the proposed school site. It was always intended that the area south of the school site would be transferred to the school so as to become the school playing fields with retained community use out of school hours. However there is concern that the changes to education sites (Academy's and Free Schools) could leave some uncertainty to community access to this area and officers are currently discussing options with Oxfordshire County Council Education officers to try and resolve this.
- 3.7 The Design Team met with Sport England and representatives of the National Governing Bodies of Sports (NGB's) on 30 May. The representatives from football, rugby and tennis were enthusiastic about the provision with football and rugby suggesting that they would welcome a funding bid towards the cost of the 3G pitch. Unfortunately tennis, cricket and athletics representatives said that they are less likely to support the proposals financially and athletics even going on to say that a new 400m tracks sits outside their general strategic view, that it is felt that the current athletic track provision across the county is sufficient and there were concerns for the amount of resource required to build, manage and maintain a track when compared to the frequency of use. Provision of compact training facilities is much more supported and the athletics representative also indicated that there is a possibility of some funding towards the cost of providing this smaller facility. The group were happy that the pavilion had been designed to the required standards but suggested that detailed comments about the functionality of the site, including the provision of satellite buildings, would need to be made when there is more certainty about floodlight locations.

- 3.8 With the uncertainty of community use of the 'school playing field' area East of the spine road and the lack of financial support for the facilities that were proposed for that area, members of the Project Board agreed that the design work and planning application should focus on Phase 2 (pavilion and car park) and what is now to become Phase 3A (synthetic grass pitch and tennis courts). Phase 3B (athletics training facility and multi-use games area) should be considered when the community access has been resolved (Para 3.6) and when the when school site is being designed.
- 3.9 Indicative cost estimates based on outline pavilion and site drawings are indicating that costs will exceed the agreed £2.5m budget. The view of the Council's cost consultants, Turner and Townsend, is that this is mainly related to the large increase in building costs, 18.55%, since the budget was estimated almost 2 years ago. They have also stated that the outline cost plan is based on rough estimates and at this stage of design work there is normally a 10% allowance in accuracy which will reduce to 5% when more detailed design work is completed. This allowance will continue to reduce until there is cost certainty, when the planning consent is considered and the contractor has confirmed the supply costs (December/January).
- 3.10 The Design Team will be meeting to carry out a value engineering exercise to reduce costs to within acceptable tolerances associated with the approved funding. If this is not achievable, as a last resort, the building size might need to be reduced but this will have implications. Reduction in the changing areas would mean that the pavilion would not be able to service all of the sports facilities on the site and reduction in the social areas, bar/café and function room, would affect the income generation of the site. A revenue cost modelling exercise is being carried out to compare the implications of each option.
- 3.11 At this stage in the process, the Executive needs only to commit to this further work (design development, cost review, value engineering and planning application preparation) and will consider the matter further at its September meeting before committing the construction contract.
- 3.12 Currently there is no funding identified for the proposed sports facilities in Phase 3 and from the consultation exercise with Sport England the most promising opportunity for external funding is the synthetic 3G pitch. This is also the one facility with opportunity to generate significant income and therefore help to reduce the revenue implications of the site.
- 3.13 Local sport clubs and residents will have the opportunity to comment on the proposals before pre-application consultation with Planning Officers. The planning application is programmed to be submitted in September.
- 3.14 The revised key project milestones are;
- Design and Value Engineering work for Phases 2 and 3: Now until July 2014
  - Planning application process: September 2014 until December 2014
  - Procurement/establishment of management arrangements: Now until May 2015
  - Seeking funding for Phase 3: Funding bids September 2014 onwards
  - Construction of Phase 2: January 2015 until July 2015
  - Phase 1 and 2 become operational: September 2015

- 3.15 However these miles stones may need to be adjusted if the only solution to bringing the Phase 2 cost within budget is to reduce the building size and for Members to consider the implications of this. The effect of slipping the on-site date is minimal as the revised opening date can be built into the management contract and potential user groups can be informed accordingly.

### **Sports Village Management Arrangements**

- 3.16 The Sports Village Project Board considered a report on management options and concluded that the most cost effective management arrangement that would protect the asset is for a management contract similar to that which we have in place for the Banbury, Bicester and Kidlington sports centres. Officers are currently developing the procurement process for this although progress will be determined by the final facility designs. It is expected that an operator will be awarded a management contract in June 2015 allowing them to be involved in the pavilion fitting out process.

### **Sports Development**

- 3.17 Cherwell Sports Development officers and the Oxfordshire Sports Partnership are working with Bicester Sports Clubs to produce a Bicester Sports Clubs Development Plan. This is to ensure that participation in sport is increased and that the clubs have the necessary infrastructure (coaches, volunteers, etc.) to become more sustainable. This development plan is also evidence that Sport England will be looking for as part of any funding bid. Production of the plan is due in September and officers will continue to support the clubs through to and beyond the opening of the facilities next year.

## **4.0 Conclusion and Reasons for Recommendations**

- 4.1 Construction of Phase 1 is on target for completion in November 2014 and pitches will be available to play on from September 2015.
- 4.2 The initial design work for Phase 2 has produced an outline cost plan which exceeds the available budget. However, the Design team are currently working on approaches to bring the cost within budget including a value engineering exercise and considering the options/implications of a smaller building. As the detailed design work is completed, building supplier costs are confirmed and planning conditions are known there will be more certainty to the cost plan. Officers will report the outcome of the Design Teams work to the Executive meeting in September.
- 4.3 Uncertainty with guaranteed access onto school sites and the lack of financial support for athletics has led the Project Board to reduce the scope of the planning application to just Phase 2 (pavilion and car parking) and Phase 3A (synthetic pitch and tennis courts). Phase 3B (athletics facility and multi-use games area) will be progressed when the school site is being planned and access issues have been resolved.
- 4.4 Some funding opportunities for Phase 3A facilities have been identified and will be pursued in the next available funding round.
- 4.5 The current programme for Phases 1 and 2 to be operational from September 2015 is on target however, this could be subject to change if the value engineering exercise is unable to produce the necessary cost reductions and the cost

implication of a reduced building need further consideration. Revenue modelling work has been commissioned and will be reported to the next meeting.

- 4.6 Procurement documents are currently being produced to appoint a management contractor in June 2015

## **5.0 Consultation**

Sport England and NGB'S

## **6.0 Alternative Options and Reasons for Rejection**

- 6.1 The project has been approved and is progressing in accordance with these approvals. There are no other options being considered at this time other than proposals to remain within the approved funding envelope.

## **7.0 Implications**

### **Financial and Resource Implications**

- 7.1 As this is an update report there are no financial implications arising from it. Phase 1 and Phase 2 are fully funded.

Bicester Town Council have agreed in principle to addressing the revenue implications of the site but need to consider the details before giving full commitment. This should become clearer when the revenue financial modelling exercise is complete but won't be certain until the management contract procurement process is complete.

Comments checked by: Tim Madden, Interim Head of Finance, 01295 221 634,  
[tim.madden@cherwellandshouthnorthants.gov.uk](mailto:tim.madden@cherwellandshouthnorthants.gov.uk)

### **Legal Implications**

- 7.2 There are no legal implications arising from this update report. Law and Governance continues to provide guidance and advice as necessary as this project progresses.

Comments checked by: Kevin Lane, Head of Law and Governance, 0300 0030107  
[kevin.lane@cherwellandsouthnorthants.gov.uk](mailto:kevin.lane@cherwellandsouthnorthants.gov.uk)

### **Risk Implications**

- 7.3 Risks have been identified as above and are being managed within the project board however if necessary will be escalated to the Corporate Risk Register  
The risks associated with this report are related to the potential costs/available budget and are currently being mitigated through a value engineering exercise however if the financial issues can't be resolved then options will be presented for Members consideration at the September Committee meeting. Risks associated with this project are managed by the Project Board.

Comments checked by: Louise Tustian, Senior Performance & Improvement Officer, 01295 221786louise.tustian2@cherwellandsouthnorthants.gov.uk

## 8.0 Decision Information

### Key Decision

**Financial Threshold Met:** No

**Community Impact Threshold Met:** No

### Wards Affected

All Bicester Wards and Surrounding Rural Wards

### Links to Corporate Plan and Policy Framework

A Safe, Healthy and Thriving District.

Providing the Bicester Multi-Sports Village would enable residents of Bicester and surrounding areas including children, young people and adults to take part in greater opportunities for meaningful, structured regular sport and physical activity. This would give each individual the health related benefits of a physically active lifestyle and is consistent with Eco Bicester – One Shared Vision.

A District of Opportunity

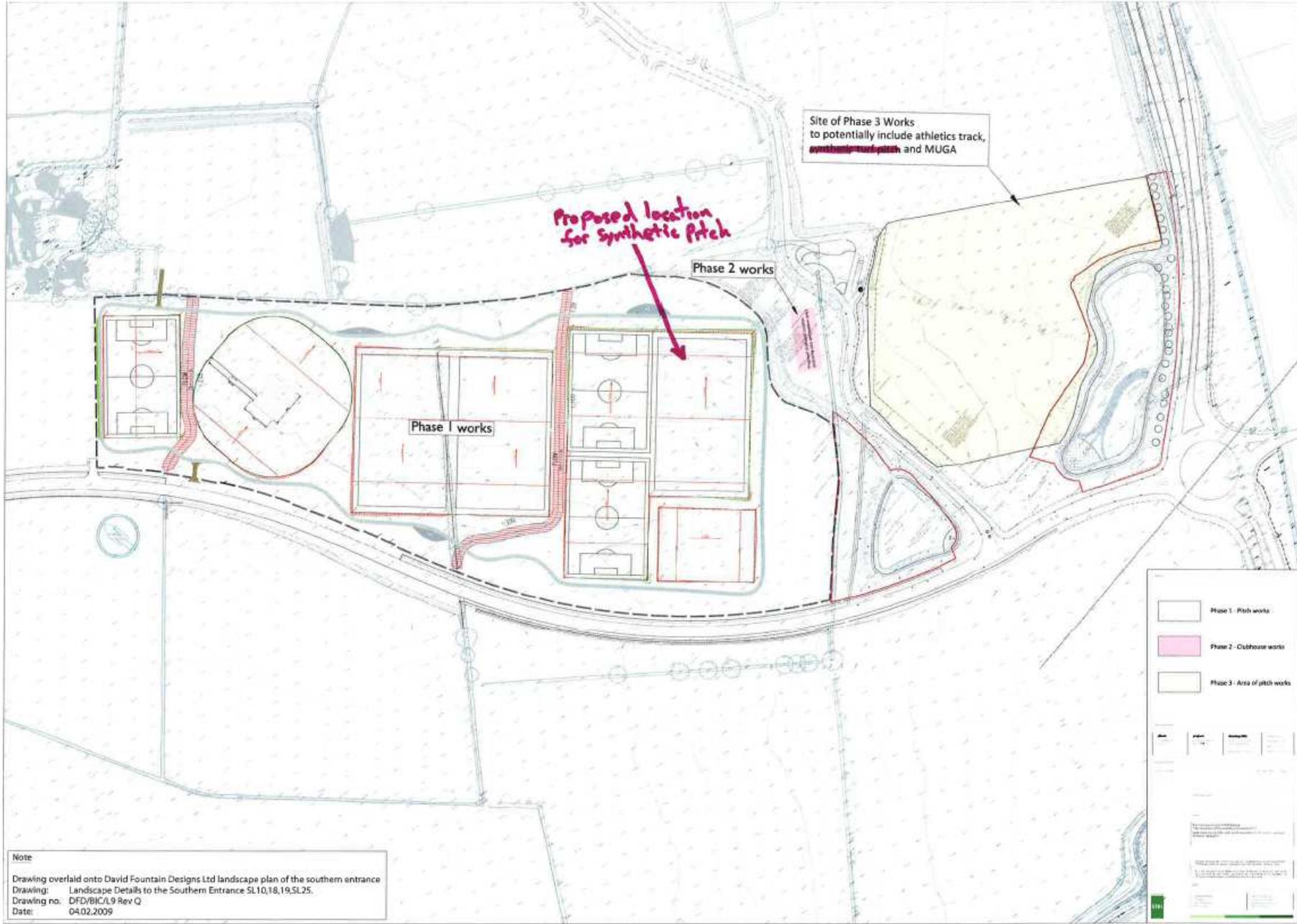
The Bicester Multi-sports Village would provide a training facility for sports clubs to train and compete in their chosen sport. This would give players a participatory opportunity and give coaches and volunteers the opportunity to gain nationally recognised qualifications. If the full scheme was progressed the pavilion would also provide a much needed conference, function and meeting venue for Bicester increasing the facilities on offer to all organisations and companies.

### Lead Councillor

Councillor George Reynolds, Deputy Leader

### Document Information

Appendix No	Title
1	Bicester Sports Village site plan
Background Papers	
None	
Report Author	Philip Rolls, Recreation and Health Promotion Manager
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Note  
 Drawing overlaid onto David Fountain Designs Ltd landscape plan of the southern entrance  
 Drawing: Landscape Details to the Southern Entrance SL10,18,19,SL25.  
 Drawing no: DFD/B/C/L9 Rev Q  
 Date: 04.02.2009

- Phase 1 - Pitch works
- Phase 2 - Clubhouse works
- Phase 3 - Area of pitch works

Scale: 1:500

North Arrow

DFD

David Fountain Designs Ltd

04.02.2009